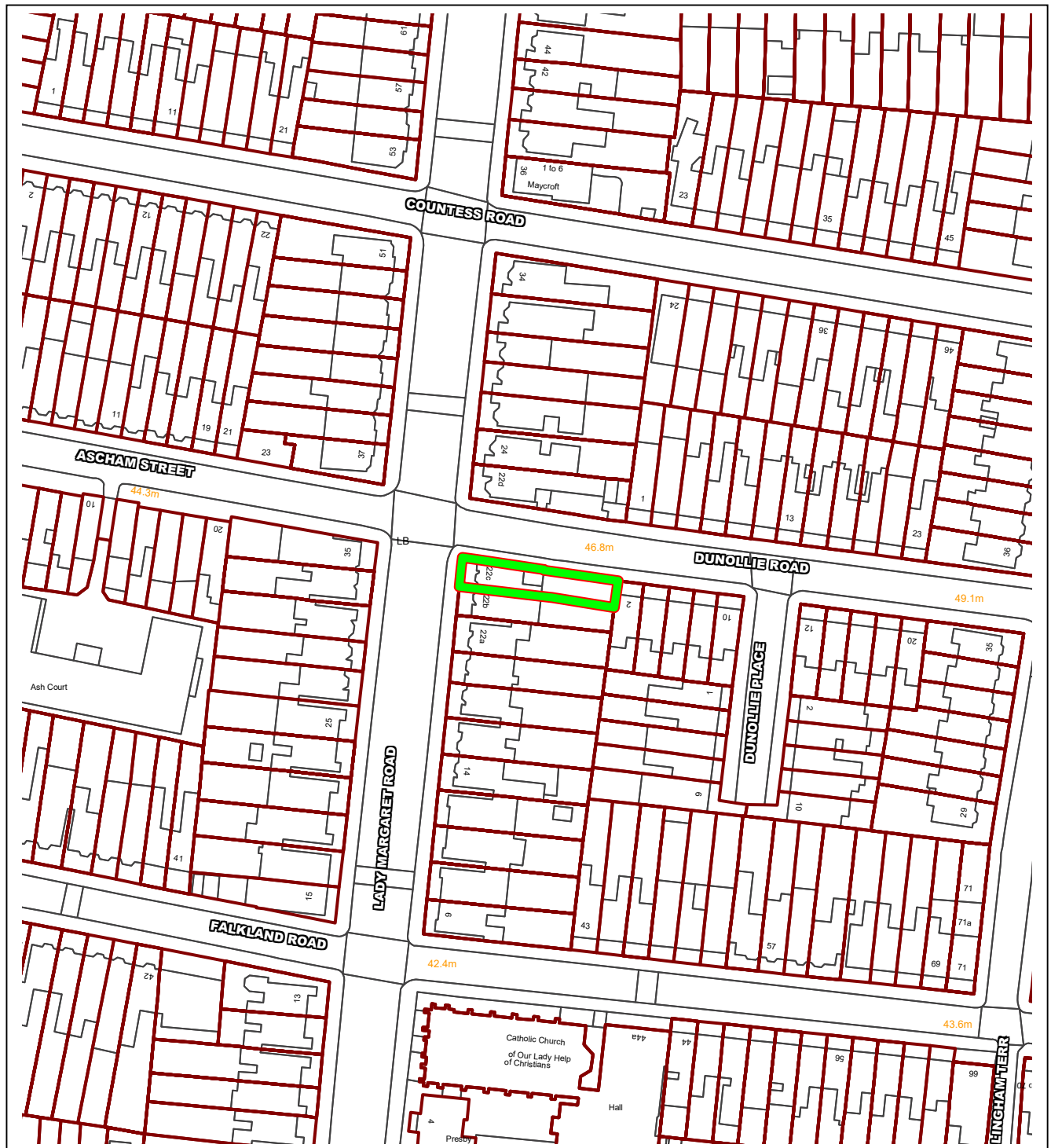


2025/1252/P – 22c Lady Margaret Road



This material has been reproduced from Ordnance Survey digital map data with the permission of the controller of Her Majesty's Stationery Office, © Crown Copyright.

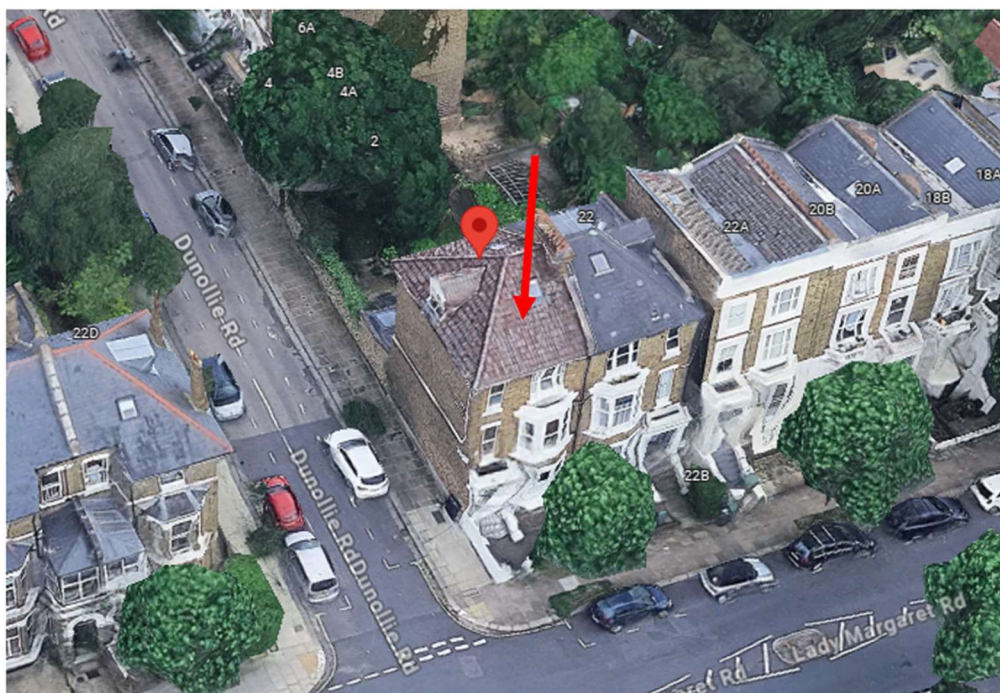


Image 1 – Google aerial showing site from the front



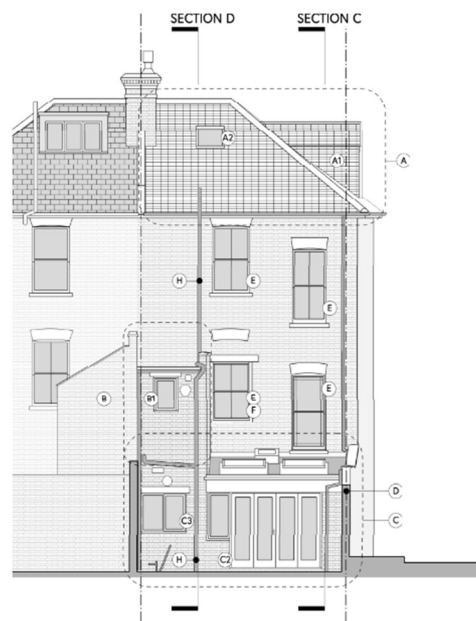
Image 2 – Google aerial showing site from the rear



Image 3 – Google Streetview from Dunoillie Road showing the side



1 EXISTING FRONT ELEVATION
Scale: 1:100

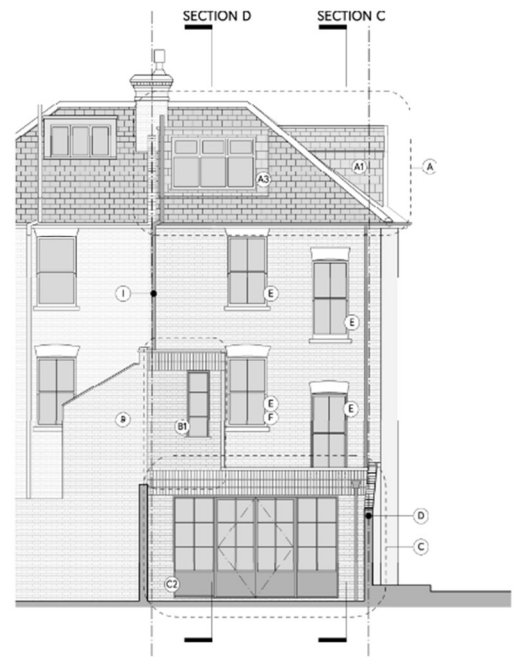


3 EXISTING REAR ELEVATION
Scale: 1:100

Existing front and rear elevations

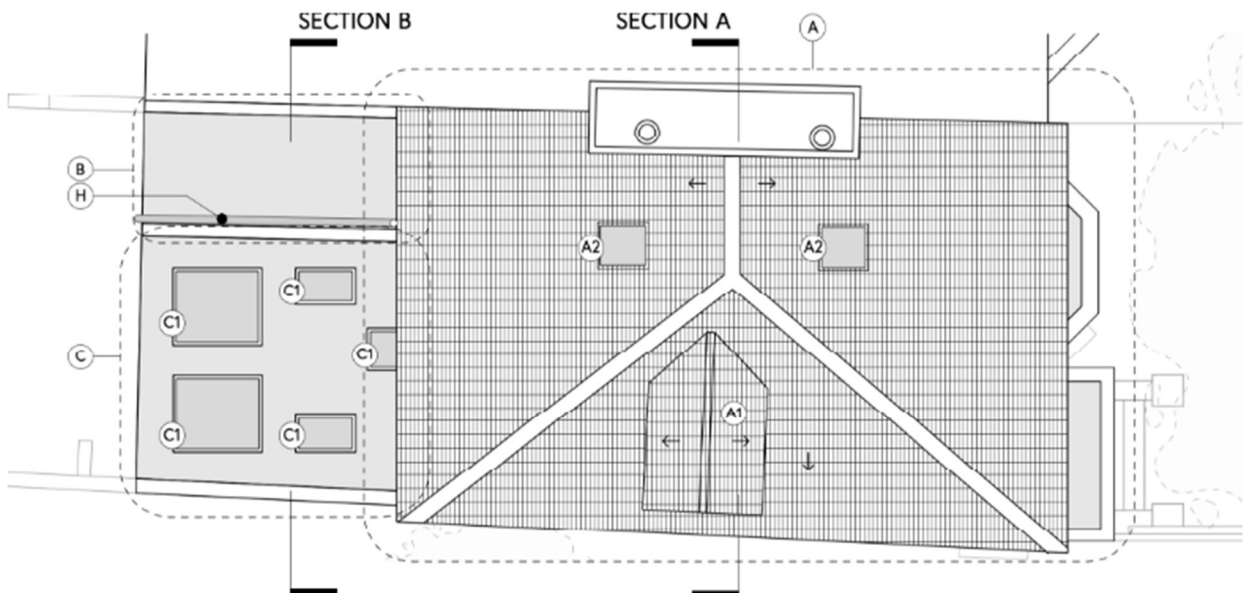


1 PROPOSED FRONT ELEVATION
Scale: 1:100

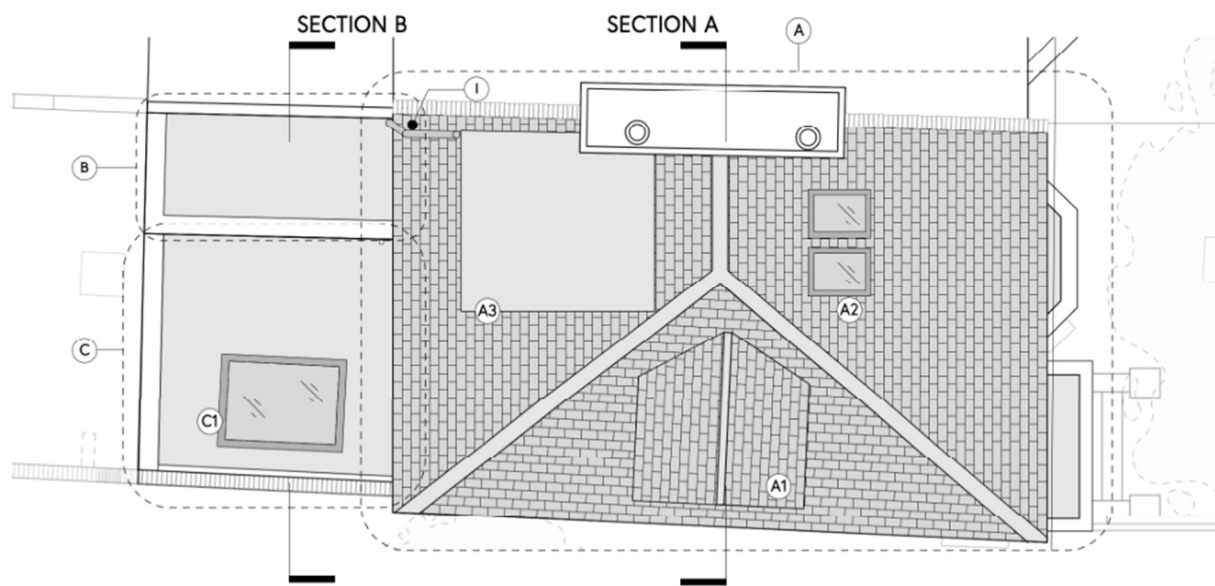


3 PROPOSED REAR ELEVATION
Scale: 1:100

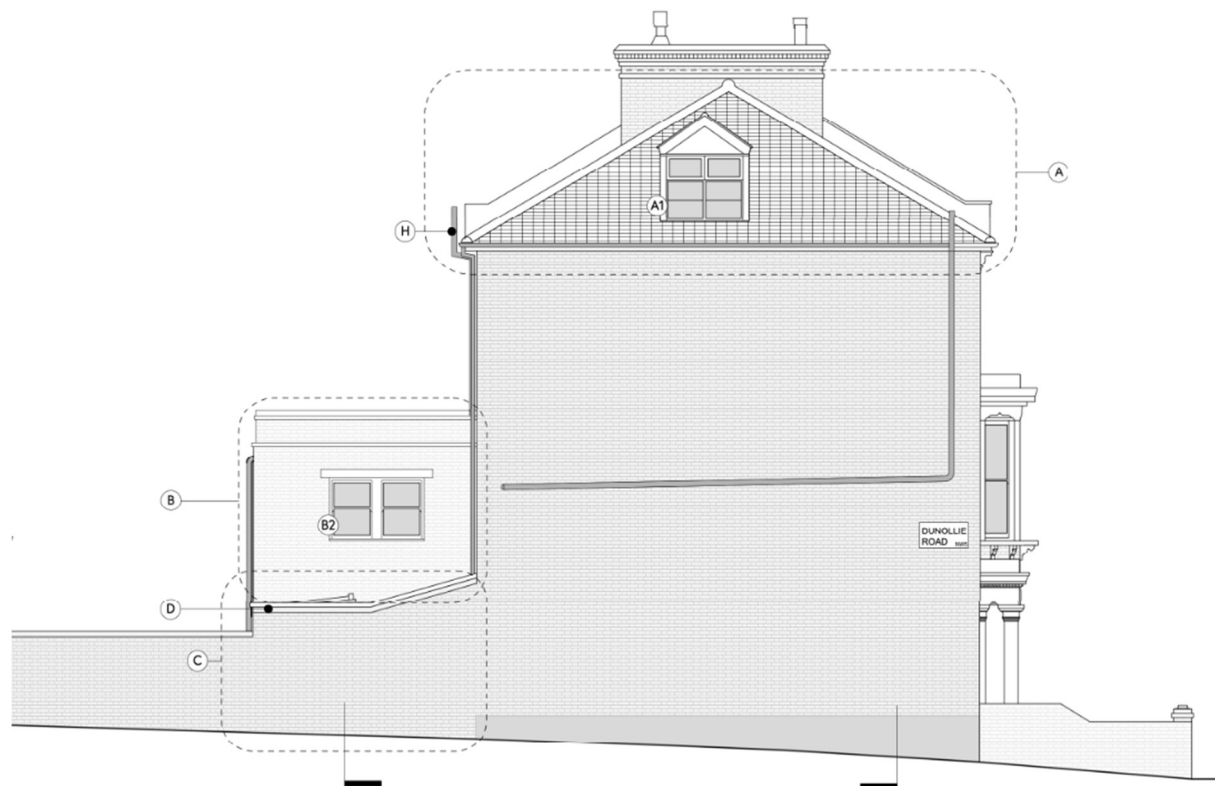
Proposed front and rear elevations



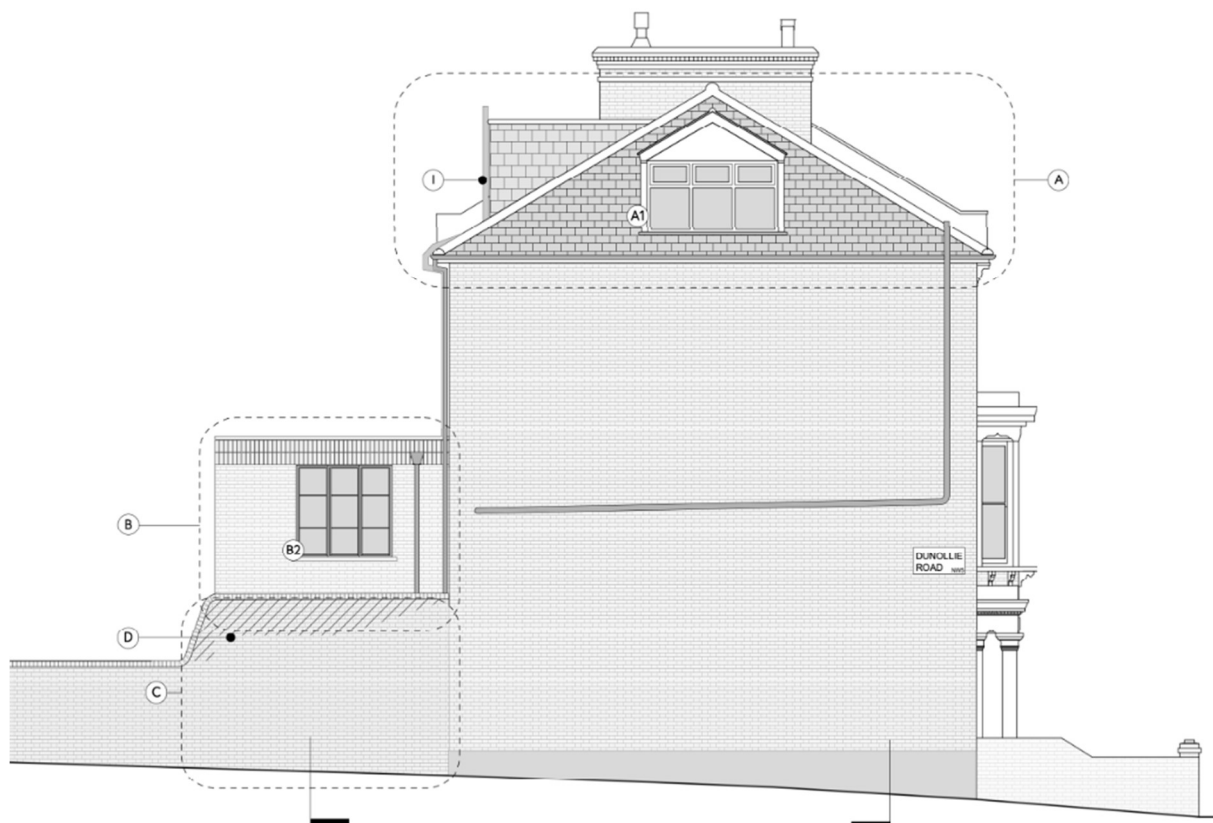
Existing roof plan



Proposed roof plan



Existing side elevation



Proposed side elevation

Delegated Report (Members Briefing)		Analysis sheet		Expiry Date:	16/05/2025
		N/A / attached		Consultation Expiry Date:	23/07/2025
Officer			Application Number(s)		
John Nicholls			2025/1252/P		
Application Address			Drawing Numbers		
22C Lady Margaret Road London NW5 2XS			See draft decision notice		
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature		
Proposal(s)					
Replacement of existing red tiled roof with slates with new internal insulation; proposed widened gable side dormer and the erection of a new flat roof rear dormer; a replacement enlarged flush rooflight to front roof slope; alterations to existing first floor rear extension by raising the height; alterations to existing ground floor rear extension by raising the height with a new rooflight and raised side boundary wall and with new Crittall-style doors and windows to renovated rear extensions; consolidated pipework to rear; replacement of existing single-glazed windows to primary elevations with heritage slimline double-glazed sash windows; and new front door to match existing.					
Recommendation(s):		Grant Planning Permission			
Application Type:		Householder Application			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining Occupiers:	No. notified	00	No. of responses	00	No. of objections	00
			No. Electronic	00		
Summary of consultation responses:	A press notice was displayed between 10/04/2025 until 04/05/2025. A site notice was displayed between 02/04/2025 and 26/04/2025. No objections have been received as a result of this consultation.					
Kentish Town CAAC / Kentish Town Neighbourhood Forum comments:	The Kentish Town Neighbourhood Forum have offered no comments. The Kentish Town CAAC have objected as follows: <ul style="list-style-type: none">Our comments are that all windows must match original space and frames must be wood.The Crittall door should also be in wood please.All new brickwork must match existing.There is concern about light pollution from the skylight. <u>Officer response:</u> <ul style="list-style-type: none">Officers have no objection in terms of the proposed high quality metal windows being fitted on the side elevation of the closet wing extension at the rear. The full assessment can be read in paragraphs 2.3-2.5 below.Officers have no objection in terms of a proposed high quality metal door at rear garden level, which replaces the existing wood doors already in use. The full assessment can be read in paragraph 2.3 below.The proposed brickwork is due to match the existing in terms of colour and texture, but the soldier courses proposed on the ground and first floor roof parapets are considered to be a suitable design in the context of the conservation area which does not harm its character and appearance.The proposed ground floor skylight replaces five existing skylights at this level, and the proposed skylights on the main roof are only fractionally larger than the one they replace, and therefore, amenity harm from light pollution is considered to be reduced overall as a result of the proposals.					

Site Description

The property is an end of terrace three storey (plus loft floor) single family dwelling located in the Kentish Town Conservation Area, to which it makes a positive contribution. The site is also located in the Kentish Town Neighbourhood Plan area.

Relevant History

None relevant

Relevant policies

National Planning Policy Framework (2024)

The London Plan (2021)

Camden Local Plan (2017)

- A1 Managing the impact of development
- D1 Design
- D2 Heritage

Camden Planning Guidance

- CPG Amenity (2021)
- CPG Design (2021)

Conservation Statements / Neighbourhood Plans:

- Kentish Town Conservation Area Character Appraisal and Management Plan (2011)
- Kentish Town Neighbourhood Forum (2016)
 - D3 Design Principles

Draft Camden Local Plan (2024)

A [Submission Draft Camden Local Plan](#) (updated to take account of consultation responses) was reported to Cabinet on 2 April 2025 and the Council on 7 April 2025. The Council resolved to agree the Submission Draft Local Plan for publication and submission to the government for examination (following a further period of consultation). The Submission Draft is a significant material consideration in the determination of planning applications but still has limited weight at this stage.

Assessment

1.0 Proposal

- 1.1 The proposals include raising the height of the existing ground floor extension with associated changes to the side boundary wall and raising the height of the existing first floor outrigger with fenestration alterations to both with Crittall style windows and doors, the replacement of roof tiles with slates, creating a new rear dormer, widening an existing side gable dormer, and replacing the existing front rooflight with two larger rooflights.
- 1.2 In addition, all of the existing single glazed sliding sash windows on the front and rear elevations (apart from 1st floor front) will also be replaced with heritage slimline double glazing, with a replacement front door to match the existing. As part of the application, the proposed replacement front rooflight has been changed from a horizontal rectangle to two smaller vertical rooflights, and the dormer has been moved off the party parapet wall to help reduce its impact on the rear roof slope.
- 1.3 The principal planning considerations for the proposal are:
- Design and Heritage
 - Amenity
 - Sustainability
 - Biodiversity Net Gain

2.0 Design and Heritage

- 2.1 The Council's design policies are aimed at achieving the highest standard of design in all developments. The following considerations contained within Policy D1 are relevant to the application: development should respect local context and character; comprise details and materials that are of high quality and complement the local character; and respond to natural features. Policy D2 'Heritage' states that in order to maintain the character of Camden's conservation areas, the Council will not permit development within conservation area that fails to preserve or enhance the character and appearance of that conservation area.
- 2.2 The proposed alterations to the height of the ground floor infill and first floor rear extensions are both minimal and built in brick but in a soldier course pattern, which gives them some interest without impacting on the character or appearance of the conservation area. Although the CAAC have requested that the brickwork should match the existing, the subtle change from the use of the soldier courses to delineate the new roof parapets at these levels is considered an acceptable way to finish these and are not considered to harm the character or appearance of the conservation area.
- 2.3 The proposed new Crittall-style windows on the side and rear of the ground and first floor rear extensions and rear door on the ground floor are an acceptable contrast to the white painted timber windows on the rest of the host property, and as such are not considered to cause harm to the character and appearance of the host property or the wider street scene and conservation area. The door will also not be visible from the public realm, and therefore these proposals are considered to be acceptable.
- 2.4 The side boundary wall will be built up to accommodate the ground floor height increase adjacent to the building facing Dunollie Road, again in matching brick. The roof itself will be flattened and the number of rooflights reduced from five to one larger one. The other replacement windows on front and rear are all acceptable, with the first-floor rear windows being slightly altered in shape and fenestration pattern to match those on the rest of the property. The CAAC have raised a concern over the size and shape changes to the proposed windows, seeking that they remain in their original space and be timber framed. The proposed changes to the first-floor rear elevation windows include lengthening the shape of the central sliding sash back to a more oblong shape which matches the one directly above it and utilising the existing brick header which it is assumed it formally butted up against. This change removes a concrete lintel and re-instates this window to its original location. The other first floor rear window on the main rear elevation is being re-designed to remove the existing sliding sash with margin lights to one with a central set of glazing bars to match the rest of the property. Both of these changes are considered to enhance the character and appearance of the property within the conservation area.
- 2.5 The proposed location and lengthening of the rear first floor window and change in materials to metal are also considered acceptable, as this is part of an overall set of changes to the rear of the property which also removes / relocates pipework which clutters the rear elevation. The existing small single pane window is

clearly a later addition which does not relate to the rest of the rear elevation apart from some similar windows directly below it. Therefore, within this context, the lengthening of the first-floor window and the subsuming of the ground floor windows into the proposed widened rear set of Crittall style glazed doors is not considered to cause harm to the character or appearance of the conservation area, and therefore the changes are all considered to be acceptable.

- 2.6 The side gable dormer changes both centralise and widen this dormer in a style matching the existing. The rear dormer is also set in off the party parapet, eaves and hip to form a centralised dormer in the rear roof slope which remains subservient to the host property. The replacement rooflights on the front elevation are also now acceptable in size and the design amended to the vertical which matches those of other roofs in the local area and therefore compliant with SPG guidance. As such all of the proposed works are considered to be well designed and enhance the character and appearance of the conservation area.
- 2.7 The proposal overall is considered to preserve the character and appearance of the conservation area overall. The Council has had special regard to the desirability of preserving the character and appearance of the Conservation Area.

3.0 Amenity

- 3.1 Policy A1 seeks to protect the quality of life of occupiers and neighbours by only granting permission to development that would not harm the amenity of residents, which includes factors such as privacy, overlooking and outlook.
- 3.2 The CAAC have raised an amenity concern over the potential light pollution from the skylights. However, at ground floor level, the existing property has five existing skylights, which is being reduced to one, and at main roof level, one small front rooflight is being replaced with two slightly larger rooflights, which are not uncommon in the local area. Therefore, the overall amount of roof glazing proposed is less than the existing, and therefore, it is considered that any light pollution would be reduced and not increased as a result of this proposal. Therefore, officers consider that there would be no amenity harm in terms of light pollution as a result of the proposals.
- 3.3 The only other changes that could be considered to increase amenity harm might be from the new rear dormer and from the increase in size and slight realignment of the proposed side dormer. The rear dormer is located more than 18m away from the rear of the neighbouring residential property at the rear, and the side dormer contains a stair access, and therefore neither are considered to cause concern by way of overlooking to neighbouring residential properties.
- 3.4 The modest increase in height of the first floor and ground floor rear extensions are also not considered to cause amenity harm by way of loss of daylight or sunlight to neighbouring residential windows.
- 3.5 Overall, no amenity harm is considered to result in the proposals and therefore the proposals are compliant with policy A1 of the Camden Local Plan.

4.0 Biodiversity Net Gain

- 4.1 Based on the information available, this proposal would not require the approval of a BNG Plan before development is begun because the proposal is a householder application.

5.0 Conclusion

- 5.1 The proposed development is in general accordance with policies A1, D1 and D2 of the Camden Local Plan 2017 and policy D3 of the Kentish Town Neighbourhood Plan 2016. The proposed development also accords with the London Plan 2021 and the National Planning Policy Framework 2024.

6.0 Recommendation

- 6.1 Grant conditional planning permission

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 28th July 2025, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2025/1252/P
Contact: John Nicholls
Tel: 020 7974 2843
Email: John.Nicholls@camden.gov.uk
Date: 21 July 2025

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE

Phone: 020 7974 4444

planning@camden.gov.uk
www.camden.gov.uk

Studio Catenaccio
31 St George's Avenue
London
N7 0HB

Dear Sir/Madam,

DECISION

Town and Country Planning Act 1990 (as amended)
Householder Application Granted

Address:

**22C Lady Margaret Road
London
NW5 2XS**

Proposal: Replacement of existing red tiled roof with slates with new internal insulation; proposed widened gable side dormer and the erection of a new flat roof rear dormer; a replacement enlarged flush rooflight to front roof slope; alterations to existing first floor rear extension by raising the height; alterations to existing ground floor rear extension by raising the height with a new rooflight and raised side boundary wall and with new Crittal-style doors and windows to renovated rear extensions; consolidated pipework to rear; replacement of existing single-glazed windows to primary elevations with heritage slimline double-glazed sash windows; and new front door to match existing.

Drawing Nos: (A-3P-)000 Rev P1; 001 Rev P1; 100 Rev P2; 101 Rev P2; 102 Rev P2; 200 Rev P2; 201 Rev P2; 300 Rev P2; 301 Rev P2; 302 Rev P2; (AE-3P-)100 Rev P1; 101 Rev P1; 102 Rev P1; 200 Rev P1; 201 Rev P1; 300 Rev P1; 301 Rev P1; 302 Rev P1 and Studio Catenaccio Design and Access and Heritage Statement dated March 2025

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans: (A-3P-)000 Rev P1; 001 Rev P1; 100 Rev P2; 101 Rev P2; 102 Rev P2; 200 Rev P2; 201 Rev P2; 300 Rev P2; 301 Rev P2; 302 Rev P2; (AE-3P-)100 Rev P1; 101 Rev P1; 102 Rev P1; 200 Rev P1; 201 Rev P1; 300 Rev P1; 301 Rev P1; 302 Rev P1 and Studio Catenaccio Design and Access and Heritage Statement dated March 2025

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017 and policy D2 of the Kentish Town Neighbourhood Plan 2016.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

- 4 Biodiversity Net Gain (BNG) Informative (1/3):

The effect of paragraph 13 of Schedule 7A to the Town and Country Planning Act 1990 ("1990 Act") is that planning permission granted in England is subject to the condition ("the biodiversity gain condition") that development may not begin unless:

- (a) a Biodiversity Gain Plan has been submitted to the planning authority, and
- (b) the planning authority has approved the plan.

The local planning authority (LPA) that would approve any Biodiversity Gain Plan (BGP) (if required) is London Borough of Camden.

There are statutory exemptions and transitional arrangements which mean that the biodiversity gain condition does not always apply. These are summarised below, but you should check the legislation yourself and ensure you meet the statutory requirements.

Based on the information provided, this will not require the approval of a BGP before development is begun because it is a Householder Application.

5 Biodiversity Net Gain (BNG) Informative (2/3):

+ Summary of transitional arrangements and exemptions for biodiversity gain condition

The following are provided for information and may not apply to this permission:

1. The planning application was made before 12 February 2024.
2. The planning permission is retrospective.
3. The planning permission was granted under section 73 of the Town and Country Planning Act 1990 and the original (parent) planning permission was made or granted before 12 February 2024.
4. The permission is exempt because of one or more of the reasons below:
 - It is not "major development" and the application was made or granted before 2 April 2024, or planning permission is granted under section 73 and the original (parent) permission was made or granted before 2 April 2024.
 - It is below the de minimis threshold (because it does not impact an onsite priority habitat AND impacts less than 25 square metres of onsite habitat with biodiversity value greater than zero and less than 5 metres in length of onsite linear habitat).
 - The application is a Householder Application.
 - It is for development of a "Biodiversity Gain Site".
 - It is Self and Custom Build Development (for no more than 9 dwellings on a site no larger than 0.5 hectares and consists exclusively of dwellings which are Self-Build or Custom Housebuilding).
 - It forms part of, or is ancillary to, the high-speed railway transport network (High Speed 2).

6 Biodiversity Net Gain (BNG) Informative (3/3):

+ Irreplaceable habitat:

If the onsite habitat includes Irreplaceable Habitat (within the meaning of the Biodiversity Gain Requirements (Irreplaceable Habitat) Regulations 2024) there are additional requirements. In addition to information about minimising adverse impacts on the habitat, the BGP must include information on compensation for any impact on the biodiversity of the irreplaceable habitat. The LPA can only approve a BGP if satisfied that the impact on the irreplaceable habitat is minimised and appropriate arrangements have been made for compensating for any impact which do not include the use of biodiversity credits.

+ The effect of section 73(2D) of the Town & Country Planning Act 1990
If planning permission is granted under section 73, and a BGP was approved in relation to the previous planning permission ("the earlier BGP"), the earlier BGP may be regarded as approved for the purpose of discharging the biodiversity gain condition on this permission. It will be regarded as approved if the conditions attached (and so the permission granted) do not affect both the post-development value of the onsite habitat and any arrangements made to compensate irreplaceable habitat as specified in the earlier BGP.

+ Phased development

In the case of phased development, the BGP will be required to be submitted to and approved by the LPA before development can begin (the overall plan), and before each phase of development can begin (phase plans). The modifications in respect of the biodiversity gain condition in phased development are set out in Part 2 of the Biodiversity Gain (Town and Country Planning) (Modifications and Amendments) (England) Regulations 2024.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with the National Planning Policy Framework. The council publishes its adopted policies online, along with detailed Camden Planning Guidance. It also provides advice on the website for submitting applications and offers a pre-application advice service.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-householder-planning-decision>.

If you submit an appeal against this decision you are now eligible to use the new [submission form](#) (Before you start - Appeal a planning decision - GOV.UK).

Yours faithfully

Chief Planning Officer