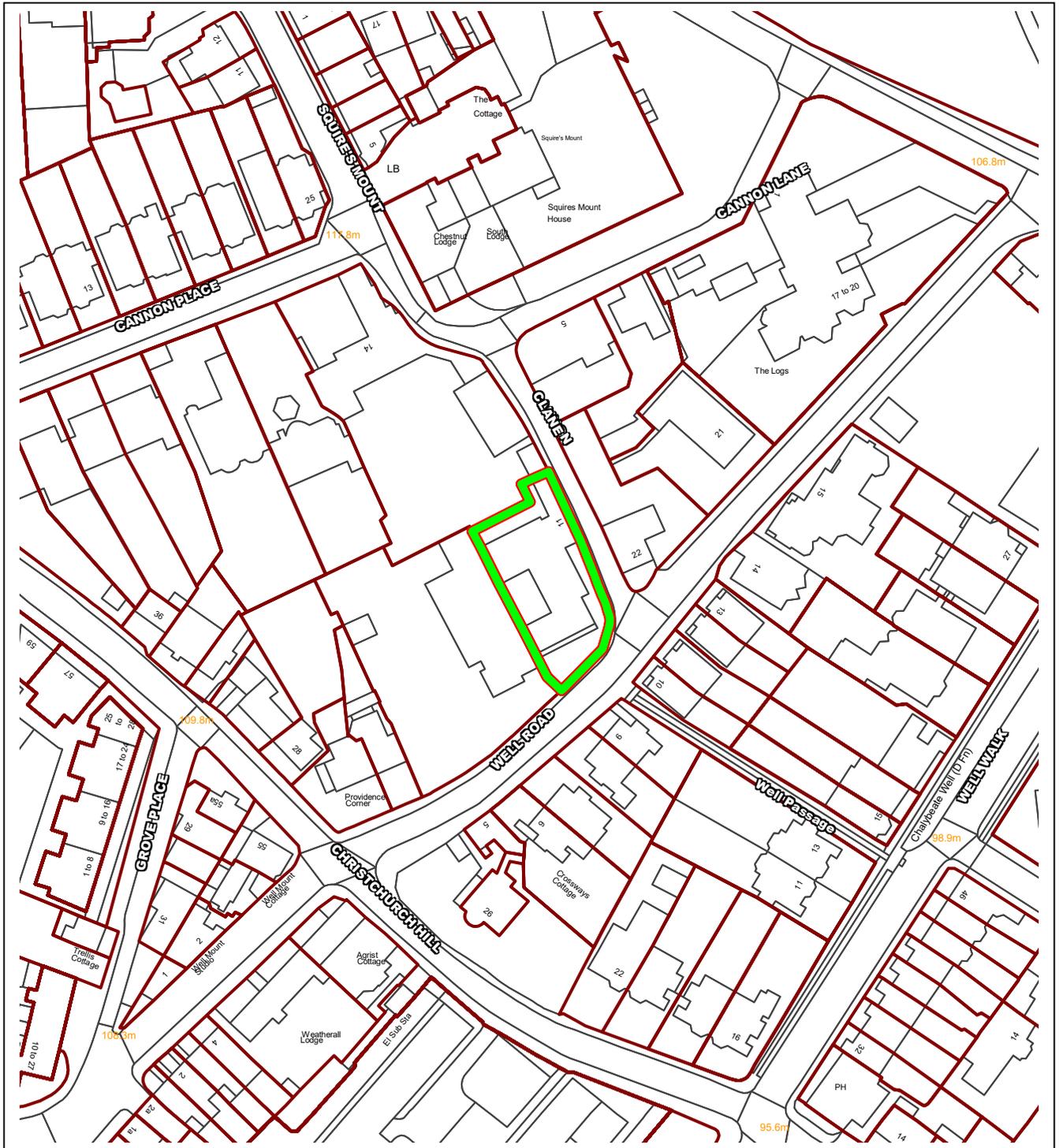


2025/1074/L- 11 Cannon Lane



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Aerial view 1 – site looking north



Aerial view 2 – Grade 2 listed flank wall on Cannon Lane



- 1) Cannon Lane elevation. The applicant wishes to carry out standard conservation repairs to a massive grade-II-listed wall. The works border on being *de minimis* as like-for-like repairs. The doorway opens into the Old Parish Lock-up. As part of the works, the applicant has agreed to remove mirror foiling from the two lunette windows to allow the vaulted ceiling to be appreciated by passers by. This is a heritage benefit.



- 2) Cannon Lane behind, Well Road ahead. The wall needs repairs. The proposed repairs are conservative and constitute a heritage benefit.



3) Area of brickwork in need of repair and repointing.



4) On the garden side of the wall, at first floor level (above the gaol), stands a lean-to outbuilding. Water has entered the wallhead and caused its decay. The rotting modern structure is to be rebuilt, like-for-like. Lead capping will be added to the top of the wall to protect the wall from saturation and prevent a recurrence.

Delegated Report		Analysis sheet		Expiry Date:		23 May 2025	
(Members Briefing)		N/A / attached		Consultation Expiry Date:		20 April 2025	
Officer				Application Number(s)			
Nick Baxter				2025/1074/L			
Application Address				Drawing Numbers			
11 Cannon Lane, NW3 1EL				See draft decision notice			
PO 3/4		Area Team Signature		C&UD		Authorised Officer Signature	
Proposal(s)							
Repairs to grade II listed boundary wall, reinstatement of attached existing timber outbuilding roof and removal of privacy foiling from gaol windows.							
Recommendation(s):		Grant listed building consent					
Application Type:		Listed building consent					
Conditions or Reasons for Refusal:		Refer to Draft Decision Notice					
Informatives:							
Consultations							
Adjoining Occupiers:		No. notified	00	No. of responses	4	No. of objections	4
Summary of consultation responses:		Site Notice: displayed 27 March 2025, expired 20 April 2025 Press Notice: published 27 March 2025, expired 20 April 2025 Four objections were received					
Stephen Levrant, in a report commissioned by the occupant of Cannon Hall (a neighbour)		Mr Levrant commented extensively on the contents of the heritage statement. The following is a summary of his objection: <ul style="list-style-type: none"> • He alleged that the author of the heritage statement did not appear to be qualified; • that there was insufficient information in the heritage statement to allow the proposal to be assessed; • that the information provided was of poor quality and lacking in detail; • that the repair works were likely to be of poor quality; 					

	<ul style="list-style-type: none"> • that there were concerns about harm to neighbouring Grade-II*-listed Cannon Hall being caused by the lack of construction management experience in conservation works; and that there were concerns that lorry movements have caused damage to Cannon Hall previously. <p><i>Officer Response:</i></p> <ul style="list-style-type: none"> • <i>The heritage statement is adequate and proportionate for the proposal under consideration, which involves minor works, many of which could be carried out as a like-for-like repair without the requirement for formal consent.</i> • <i>The heritage statement is far from the only consideration in a listed building application. Of great importance is the evidence provided by the site visit, to which assertions made in the heritage statement are secondary.</i> • <i>Cannon Hall is a considerable distance away from the application site. There is no possibility of the works in themselves causing it any harm. The concerns about damage to it appear to relate solely to a previous accident with a lorry and are not relevant to this application, which relates to minor works.</i> • <i>The quality of the brickwork repairs will be controlled by condition.</i>
<p>The occupant of Cannon Hall</p>	<p>The neighbour expressed concerns about lorry movements which have previously damaged her Grade-II*-listed wall and about use of the pavement for scaffolding. She also expressed reservations about the heritage statement and the details of the drawings. She expressed concern about possible harm to an adjacent tree.</p> <p><i>Officer's Response:</i></p> <ul style="list-style-type: none"> • <i>It is unlikely that the minor works of repair will generate significant lorry traffic, certainly not enough to require a construction management plan.</i> • <i>Use of the pavement will need to be applied for from the Highways Department. It is not a matter for consideration by the Conservation Team, which assesses harm to listed buildings.</i> • <i>The heritage statement gives an acceptable level of detail for the scale of the proposal.</i> • <i>The drawings give an acceptable level of detail.</i> • <i>The brickwork repairs will be controlled by condition.</i> • <i>No works to trees are envisaged in the proposal. Harm to trees in conservation areas is controlled by legislation. If works are required, an application to the Trees Team will need to be made.</i>
	<p>The Heath and Hampstead Society does not object to the works in principle but expressed concerns about lack of detail in the proposal. It was concerned by the phrase "further intrusive works may be required". It suggested that the works to the wall should be recorded.</p>

<p>The Heath & Hampstead Society</p>	<p><i>Officer's Response:</i></p> <ul style="list-style-type: none"> <i>The level of detail is considered adequate for this minor proposal.</i> <i>Works not specified in the drawings are not consented.</i> <i>The proposal relates to minor repairs to a Grade-II-listed wall. Recording beyond the level already achieved by the proposal documents would be disproportionate.</i>
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<p>The Hampstead Neighbourhood Forum</p>	<p>The Forum expressed concerns the quality of the heritage statement and level of detail in the documents. It repeated concerns about the scheme's effects on the fabric and setting of Cannon Hall and requested a construction management plan.</p> <p><i>Officer's Response:</i></p> <ul style="list-style-type: none"> <i>The contents of the heritage statement and level of detail in the drawings are appropriate to the simplicity of the proposal.</i> <i>There can be no effect on the fabric or setting of Cannon Hall caused by this minor proposal.</i> <i>A construction management plan would be disproportionate for these minor works.</i>
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Site Description

The site is a double-height brick wall surrounding a modern infill house, the general arrangement dating from 1980. The wall contains a single-cell gaol, the Old Parish Lock-up. The lock-up and wall are listed at Grade II and make a positive contribution to the Hampstead Conservation Area.

Built in 1730, the lock-up was in use until 1832. Prisoners held here were presented to magistrates at 14 Cannon Lane (Cannon Hall).

The gaol has been incorporated into the site as the front door of the house. Having entered the brick-vaulted cell, one goes through a modern doorway and tunnel and emerges into the courtyard of the house which mostly stands at first-floor level. Turning and climbing steps on to the roof of the gaol, one enters a modern lean-to structure above it.

The lean-to consists of a horizontal timber bar bolted to the wall supporting a sloping metal surface flashed into the side of the brickwork.

Relevant History

2015/0127/P and **2015/0366/L** 'Demolition of existing single building/structures and replacement with a 6-bed dwelling house with basement' **Granted 6 November 2015**

2023/5402/P 'Installation of two new rooflights to main roof and three new rooflights in the art room on the north/east corner, replacement of two windows to the basement with one large window and internal alterations' **Granted 24 May 2024**

**2024/2953/P 'External installation of one new air conditioning (AC) unit at ground floor level' Granted
12 September 2024**

Relevant Policies

National Planning Policy Framework (2024)

The London Plan (2021)

Camden Local Plan (2017)

- D1 Design
- D2 Heritage

Hampstead Conservation Area Statement (2001)

Draft Camden Local Plan

A Submission Draft Camden Local Plan (updated to take account of consultation responses) was reported to Cabinet on 2 April 2025 and the Council on 7 April 2025. The Council resolved to agree the Submission Draft Local Plan for publication and submission to the government for examination (following a further period of consultation). The Submission Draft is a significant material consideration in the determination of planning applications but still has limited weight at this stage

Assessment

1. Proposal & Background

- 1.1. Listed building consent is sought for repairs to the grade-II-listed boundary wall, the reinstatement of an attached existing timber outbuilding roof and the removal of privacy foiling from the gaol windows.
- 1.2. The lean-to structure's interior has been damaged by water ingress through the top of the historic wall, which has bypassed the flashing and damaged the timber and the lining of the room (now removed).
- 1.3. The applicant wishes to repair this lean-to. To this end, she proposes to: a) replace modern timber members within the lean-to; b) put lead capping on the top of the wall to form part of the flashing, which will prevent future water ingress and so protect the listed wall; c) carry out sympathetic repairs to the historic wall along its length, namely localised crack stitching and repointing with lime mortar; and d) remove mirror foiling from the lunettes of the gaol which prevents passers by from appreciating its interior.

2. Planning Considerations

- 2.1. The consideration material to the determination of this application is:
 - Design and heritage

3. Design and heritage

- 3.1. The Council's design policies are aimed at achieving the highest standard of design in all developments. Policy D2 'Heritage' states that in order to protect the special interest of the borough's listed buildings and maintain the character of Camden's conservation areas, the Council will resist alterations that would cause harm to the significance of a listed building and require any works to a listed building to be carried out in an appropriate manner informed by relevant specialists and not permit development within conservation area that fails to preserve or enhance the character and appearance of that conservation area.
- 3.2. The proposed works would repair and protect the brickwork of a grade-II-listed wall that is decaying and in need of repair. The works would be carried out in an appropriate manner by specialists. This is considered to be a heritage benefit. An existing modern lean-to structure concealed behind it would be repaired in a like for like fashion. Mirror foiling that prevents appreciation of the interior of the 1730 gaol would be removed, allowing passers by to see its vaulted ceiling. This is also considered a heritage benefit.
- 3.3. Special attention has been paid to the desirability of protecting the special interest of the listed building and of preserving the character or appearance of the Hampstead Conservation Area, under s.16 and s.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013.
- 3.4. A condition will be placed on the application controlling the quality and appearance of the brickwork repairs.

4. Conclusion and Recommendation

- 4.1. As such, the proposed development is in general accordance with policy D1 and D2 of the Camden Local Plan 2024. The proposed development also accords with the London Plan 2021 and the National Planning Policy Framework 2024.
- 4.2. It is recommended that the application be granted conditional listed building consent.

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 5th May 2025, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2025/1074/L
Contact: Nick Baxter
Tel: 020 7974 3442
Email: Nick.Baxter@camden.gov.uk
Date: 25 April 2025

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE

Phone: 020 7974 4444

planning@camden.gov.uk
www.camden.gov.uk

Carter Jonas
One Chapel Place
LONDON
W1G 0BG

Dear Sir/Madam,

DRAFT
DECISION

Planning (Listed Building and Conservation Areas) Act 1990
Listed Building Consent Granted

Address:
11 Cannon Lane
London
NW3 1EL

Proposal: Repairs to grade II listed boundary wall, reinstatement of attached existing timber outbuilding roof and removal of privacy foiling from gable windows.

Drawing Nos: Site location plan, A204_SM_DD_P_01, method statement for reinstatement of timber roof and junction with listed wall, data sheet pointing and mortar, structural notes, site visit report, C23850 P01, removal of existing foiling

The Council has considered your application and decided to grant subject to the following condition(s):

Conditions And Reasons:

- 1 The works hereby permitted shall be begun not later than the end of three years from the date of this consent.

Reason: In order to comply with the provisions of Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:

Site location plan, A204_SM_DD_P_01, method statement for reinstatement of timber roof and junction with listed wall, data sheet pointing and mortar, structural notes, site visit report, C23850 P01, removal of existing foiling

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

- 3 All new work and work of making good shall be carried out to match the existing adjacent work as closely as possible in materials and detailed execution.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

- 4 A 1m x 1m square sample panel in respect of the following shall be submitted to and approved in writing by the local planning authority before the relevant part of the work is begun:

- a) repaired brickwork showing appropriately sensitive treatment and repair of existing bricks, replacement mortar, stitch repairs, and blending in of works.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with the National Planning Policy Framework. The council publishes its adopted policies online, along with detailed Camden Planning Guidance. It also provides advice on the website for submitting applications and offers a pre-application advice service.

You can find advice about your rights of appeal at:
<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Chief Planning Officer