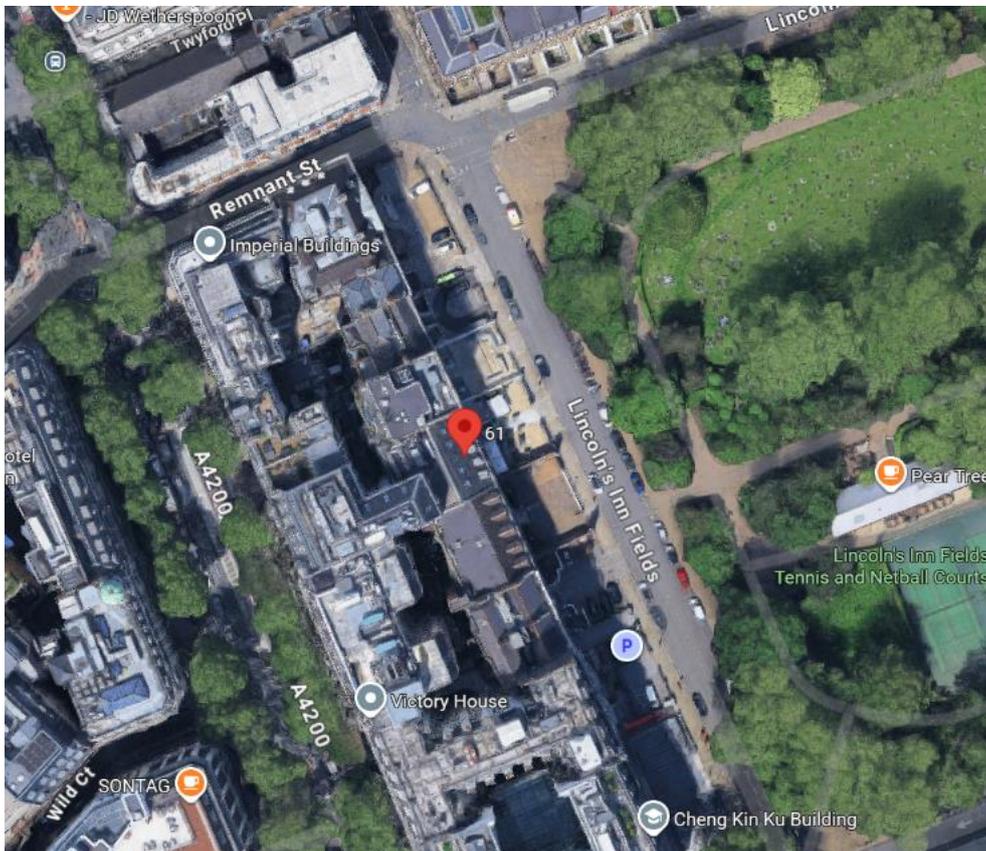
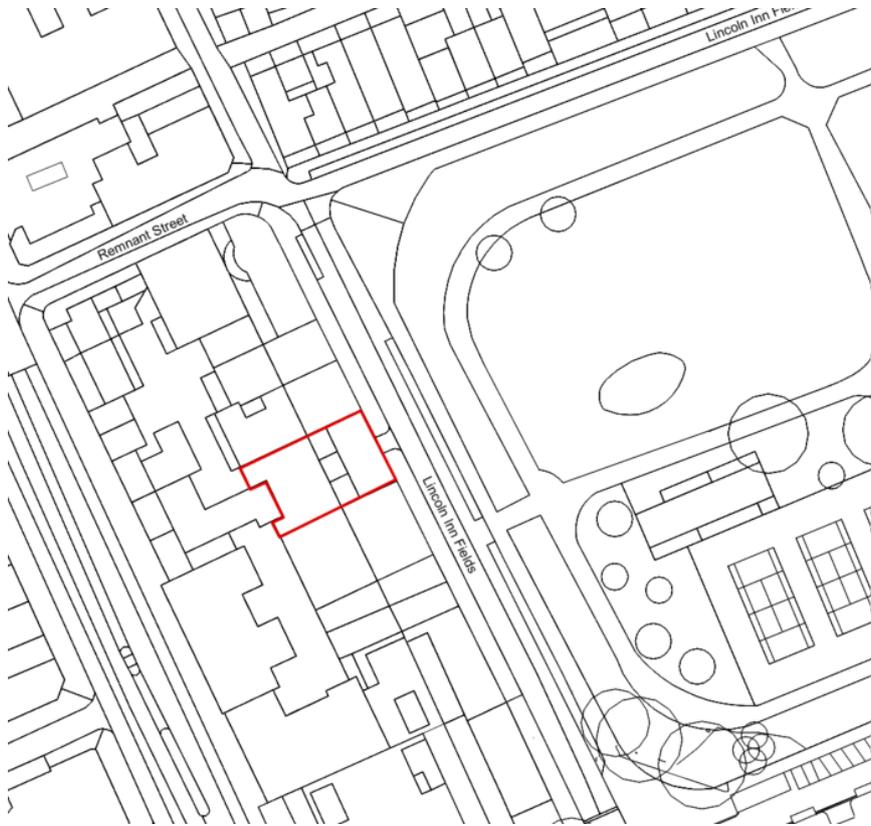


2025/2730/P – 61 Lincoln's Inn Fields







1 LINCOLN'S INN FIELDS - Existing Street View Elevation
1:100



2 LINCOLN'S INN FIELDS - Existing Building Elevation
1:100

Figure 1: Existing Front Elevations

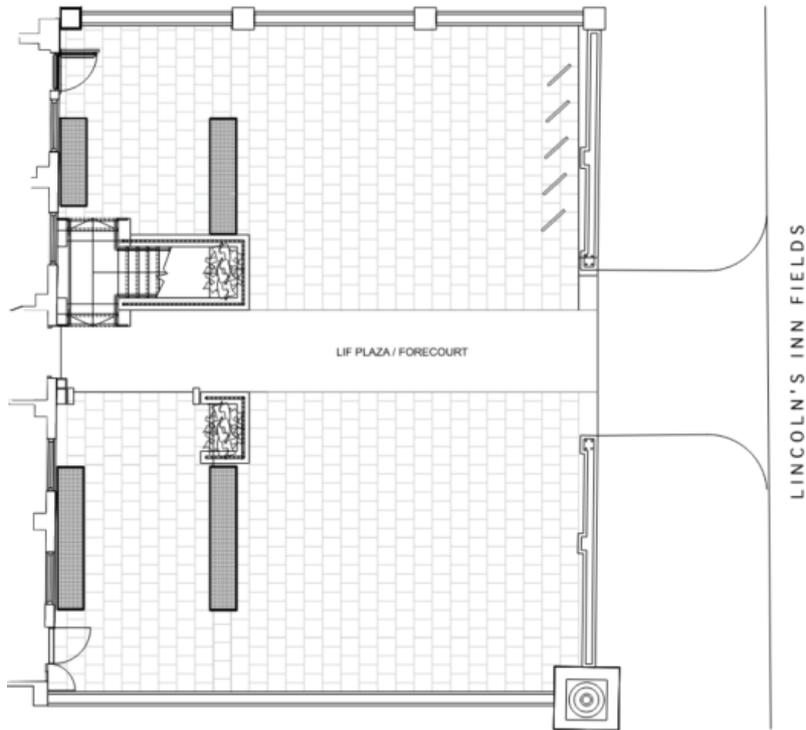


1 LINCOLN'S INN FIELDS - Proposed Street View Elevation
1:100



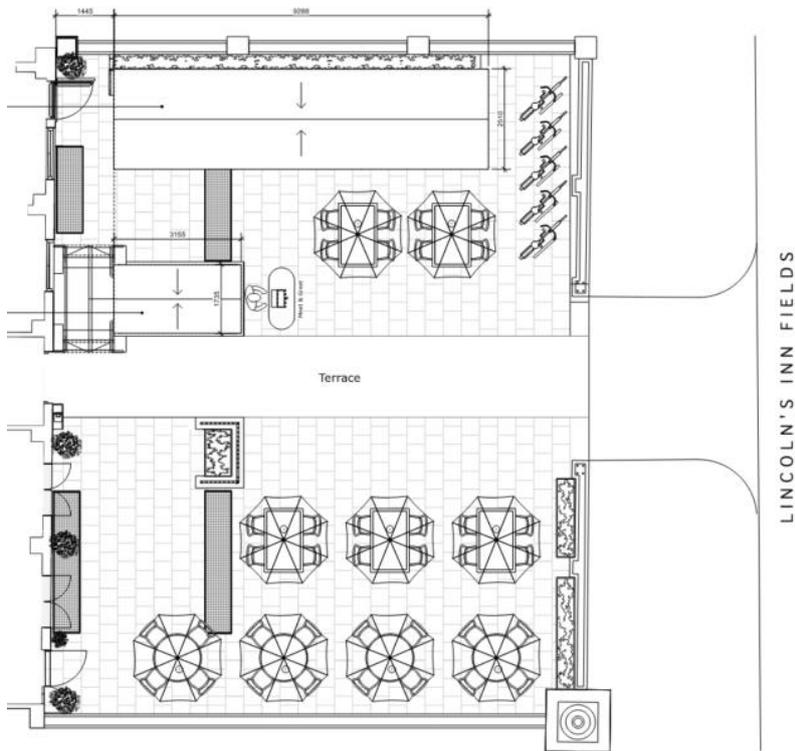
2 LINCOLN'S INN FIELDS - Proposed Building Elevation
1:100

Figure 2: Proposed Front Elevations



3 EXISTING GROUND FLOOR TERRACE PLAN
Scale: 1:50

Figure 3: Existing Front Terrace Plan



PROPOSED GROUND FLOOR TERRACE PLAN
Scale: 1:50

Figure 4: Proposed Front Terrace Plan (with furniture)



Precedent awning

Figure 5: Precedent image of proposed awnings

Delegated Report		Analysis sheet		Expiry Date:		18/08/2025	
(Members Briefing)		N/A / attached		Consultation Expiry Date:		27/07/2025	
Officer				Application Number(s)			
Brendan Versluys				2025/2730/P			
Application Address				Drawing Numbers			
61 Lincoln's Inn Fields London WC2A 3JW				<i>See draft decision notice</i>			
PO 3/4		Area Team Signature		C&UD		Authorised Officer Signature	
Proposal(s)							
Erection of a fixed awning along the north western wall and a fixed awning over external stairs, both to the front terrace; alterations to the front elevation at ground floor, including; lowering the cills of 4 x existing windows and replacement with glazed doors, replacement of the timber panels in the front door with glass, and associated works.							
Recommendation:		Grant conditional planning permission					
Application Type:		Full Planning Permission					

Conditions or Reasons for Refusal:	<i>Refer to Draft Decision Notice</i>			
Informatives:				
Consultations				
Summary of consultation:	<p>Site notices were displayed near to the site on 27/06/2025 (consultation end date 21/07/2025).</p> <p>A press notice was advertised 03/07/2025 (consultation end date 27/07/2025).</p>			
Adjoining Occupiers:	No. of responses	1	No. of objections	1
Summary of consultation responses	<p>1 objection was received following statutory consultation. A summary of responses is as follows:</p> <ol style="list-style-type: none"> 1. <i>First the awning is likely to be incongruous in this sensitive CA location. Its effect will be quite different from the current umbrellas. it should be refused.</i> 2. <i>If the awning is permitted there should be a condition that the colour be restricted to a stone colour similar to that of the umbrellas in the accompanying photos.</i> 3. <i>if either the doors or awning are permitted the doors are permitted there should be a condition prohibiting amplification of sound within the ground floor when the doors are open.</i> <p><u>Officer's response:</u></p> <ul style="list-style-type: none"> • Design and heritage effects are assessed in section 3 of this report. • A condition is recommended for details of the awnings to be secured by condition. • Amenity effects are assessed in section 3 of this report. Amenity effects are assessed in section 5 of this report. The existing terrace (when in use) already serves as a source of noise from hotel guests and as noted in the objection the existing sash windows are openable. The internal layout of the ground floor adjoining the terrace includes a small lounge and reception area, with the main restaurant located in the basement. Given this existing context, it is not considered the proposed French doors and increased openings in the façade, would materially give rise to increased noise emissions from the ground floor of the hotel. 			
Covent Garden Community Association (CGCA)	<p>A letter of objection on behalf of CGCA was received on 28/07/2025, as follows:</p> <p><i>We have no aesthetic objection to the downward extension of the ground floor windows to create French doors, as our view is that this will improve upon the current 1990s sash window arrangement. However, we do have an amenity concern because these windows will allow far greater sound escape than the narrow opening of a sash. For this reason we ask that any</i></p>			

	<p><i>consent for the French doors be accompanied by a planning condition requiring no music or amplified noise (which would include TV screen sport, for example) be audible outside the building.</i></p> <p><i>We do object to the proposed fixed ‘awnings’ to the North side of the terrace. When the application came in for awnings, we had the common understanding that these would be attractive blinds attached to the building. However, what are described as awnings on the terrace look more as if they will be free-standing gazebos. We cannot see the details of the materials, and unless the structures are made of glass they will block the view and symmetry of the attractive front elevation. Please refuse these.</i></p> <p><u>Officer’s response:</u></p> <ul style="list-style-type: none">• Amenity effects are assessed in section 5 of this report. The existing terrace (when in use) already serves as a source of noise from hotel guests and as noted in the objection the existing sash windows are openable. The internal layout of the ground floor adjoining the terrace includes a small lounge and reception area, with the main restaurant located in the basement. Given this existing context, it is not considered the proposed French doors and increased openings in the façade, would materially give rise to increased noise emissions from the ground floor of the hotel.• Design and heritage effects are assessed in section 3 of this report.
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Site Description

The application site relates to a hotel building, originally constructed as an office in the early 1990s, which has a simple neo-classical design, together with the forecourt to Lincoln's Inn Fields, used as an outdoor seating/terrace and entranceway in association with the hotel.

The site also shares the Grade I listed southern boundary wall with no. 59-60 Lindsey House.

The site is located within the Bloomsbury Conservation Area and is described as a Positive contributor in the Bloomsbury Conservation Area Appraisal and Management Strategy.

Relevant History

2025/1276/PRE - Erection of a free-standing metal pergola to eastern side of the front terrace; alterations to the front elevation at ground floor, including; lower the cills of existing 4 x windows and replace with glazed doors, replace the timber panels in the front door with glass, erection of canopy over external stairs. **Pre-application advice issued 24/05/2025**

2024/4622/PRE - Installation of an awning to south side of the front terrace attached to south side party wall; alterations to the front elevation at ground floor, including; lower the cills of existing 4 x windows and replace with glazed doors, replace the timber panels in the front door with glass, installation of canopy over external stairs. **Pre-application advice issued 17/12/2024**

2013/7300/P – Details of shopfronts, landscaping, sound insulation to 1st floor and front windows of Kingsway flats, and roof plant as required by conditions 3, 5, 10, 11 & 12 of planning permission dated 06/10/2010, ref: 2010/3759/P for Change of use from office and erection of extensions at 61-62 Lincolns Inn Fields, 36-38 Kingsway and 40-42 Kingsway to form a hotel, residential, conference facilities, restaurant, bar and retail uses; roof alterations and extensions with roof plant to 5th -9th floors of 36-38 Kingsway; rear extensions and facade alterations at all levels within internal lightwell between Kingsway and Lincoln Inn Fields blocks; roof extension, terraces and plant to 40-42 Kingsway; alterations to forecourt of 61-62 Lincolns Inn Fields. **Granted 23/05/2014**

2010/3759/P – Change of use from office and erection of extensions at 61 - 62 Lincolns Inn Fields, 36 - 38 Kingsway and 40 - 42 Kingsway to form a hotel, residential, conference facilities, restaurant, bar and retail uses; roof alterations and extensions with roof plant to 5th -9th floors of 36 - 38 Kingsway; rear extensions and facade alterations at all levels within internal lightwell between Kingsway and Lincoln Inn Fields blocks; roof extension, terraces and plant to 40 - 42 Kingsway; alterations to forecourt of 61 - 62 Lincolns Inn Fields. **Granted Subject to a Section 106 Legal Agreement 06/10/2010**

Relevant policies

National Planning Policy Framework (2024)

The London Plan (2021)

Camden Local Plan (2017)

- A1 Managing the impact of development
- D1 Design
- D2 Heritage

Camden Planning Guidance:

- CPG Amenity (2021)
- CPG Design (2021)

Bloomsbury Conservation Area Appraisal and Management Strategy (2011)

Draft Camden Local Plan

The council published a new Draft Camden Local Plan (incorporating Site Allocations) for consultation in January 2024. Responses to the consultation and a Submission Draft Camden Local Plan (updated to take account of the responses) was reported to Cabinet on 2 April 2025 and the Council on 7 April 2025. The Council resolved to agree the Submission Draft Local Plan for publication and submission to the government for examination following a further period of consultation. The Council has published the Camden Local Plan Proposed Submission Draft for consultation. The consultation closed on Friday 27 June 2025. The Submission Draft is a significant material consideration in the determination of planning applications but has limited weight at this stage. The weight that can be given to it will increase as it progresses towards adoption (anticipated 2026).

Assessment

1. The proposal

The proposal involves alterations to the forecourt and front elevation joinery of the hotel building at ground floor.

Specifically, permission is sought for the erection of a fixed awning along the north western wall of the front terrace, and the erection of a fixed awning over an existing set of stairs (with access to a basement) in the forecourt.

Permission is also sought for alterations to the front elevation at ground floor, including; lowering the cills of 4 x existing windows and replacement with glazed doors, and replacement of the timber panels in the entrance door with glass.

Revisions

The following revisions have been made to the proposal:

- The proposed awnings were to adjoin the façade but have since been amended to be setback 1.445m from the façade.

2. Assessment

2.1. The principal considerations material to the determination of this application are as follows:

- Design and Heritage
- Neighbouring Amenity
- Biodiversity Net Gain

3. Design and Heritage

3.1. Local Plan Policies D1 (Design) and D2 (Heritage) are aimed at achieving the highest standard of design in all developments. Policy D1 requires development to be of the highest architectural and urban design quality, which improves the function, appearance and character of the area; and Policy D2 states that the Council will preserve, and where appropriate, enhance Camden's rich and diverse heritage assets and their settings, including locally listed buildings. The effect of a proposal on the significance of a non-designated heritage asset will be weighed against the public benefits of the proposal, balancing the scale of any harm or loss and the significance of the heritage asset.

3.2. Guidance contained within CPG 'Design' states that design should respond positively to context and character and integrate well with the existing character of a place, building and its

surroundings.

Façade works:

- 3.3. To the ground floor façade, the proposal seeks to provide the central door with modest through-visibility via the replacement of the timber panels with glazing in the existing door. A solid timber door is characteristic of the original, historic houses on the square, providing a secure barrier as dictated by the need for privacy in a private residence. The retention of the door style and material, but with the addition of limited glazing, is a suitable visual indicator of the building's use as a hotel, serving members of the public. The retention of the door and material retains a suitable connection to the neighbouring properties.
- 3.4. The conversion of the four existing modern sash windows into French doors would retain the symmetry of the façade, with the existing height and width of the openings being retained. As existing, the visibility of the stone cills beneath the existing windows is limited and the proposed lowering of the cills and replacement of the windows with French doors would not visually unbalance the front façade at ground level. In terms of materials, the French doors would be constructed with timber and finished in white paint, sympathetic to the host building and the conservation area.

Awnings:

- 3.5. The proposed awnings would be modest additions to the forecourt and would be in scale with the proposed doors to the front elevation. The central awning would be positioned above the existing basement staircase, and while being positioned in a more prominent central location within the forecourt, would be viewed as a minor, rational addition to the existing railings surrounding the staircase. The second proposed awning would be positioned adjacent to the wall adjoining 63 Lincoln's Inn Fields. While this awning would have a slightly larger footprint than the staircase awning, the second awning would be discreetly positioned at the edge of the forecourt and would not be an obtrusive element of furniture in the forecourt. Lower parts of the awnings would have a high degree of visual permeability to minimise visual obstructions of the building's front elevation. The awnings would also be setback adequately from the street but also offset adequately from the façade so as to read as detached elements and not extensions to the façade.
- 3.6. Details of the awnings, including materials and colour, would be secured by condition.
- 3.7. Overall, the proposed amendments to the façade are very limited and will retain the architectural form of the existing building. Together with the minor amendments to the layout and new awnings, the proposals will preserve and enhance the character and appearance of the Bloomsbury Conservation Area, preserve the setting of the nearby listed buildings and Lincoln's Inn Field itself. Specifically, given the separation distance and limited scale of the awnings, and the sympathetic detailed design of the French doors, the proposals would not result in any harm to the Grade I listed Lindsey House and attached railings, piers and lamp-brackets (which adjoins the application site to the south at 57-60 Lincoln's Inn Fields), nor any other listed buildings or assets in the vicinity of the application site.
- 3.8. Special attention has been paid to the desirability of preserving the listed building and its setting or any features of special architectural or historic interest which it possesses, and to preserving or enhancing the character or appearance of the conservation area.

4. Amenity

- 4.1. Policy A1 seeks to protect the quality of life of occupiers and neighbours by only granting permission for development that would not harm the amenity of residents. This includes factors such as privacy, outlook, implications to natural light, artificial light spill, as well as impacts caused

from the construction phase of development.

- 4.2. Due to the nature of the proposed works and the modest scale and positioning of the proposed doors and awnings, it is not considered that there would be any resulting unacceptable impact with regards to light availability, overlooking/privacy or sense of enclosure/dominance.
- 4.3. As discussed in the 'Consultations' section above with regard to noise effects, the existing terrace (when in use) already serves as a source of noise from hotel guests and as noted in the objection the existing sash windows are openable. The internal layout of the ground floor adjoining the terrace includes a small lounge and reception area, with the main restaurant located in the basement. It is understood the adjoining properties on Lincoln's Inn Fields are used for either commercial or other non-residential uses, which are generally less sensitive to noise. Notwithstanding the uses of adjoining buildings, given the existing context of the hotel's ground floor openable windows and the ground floor reception/lounge area having a small size (not functioning as an events space), it is not considered the proposed French doors and increased openings in the façade, would materially give rise to increased noise emissions from the ground floor of the hotel.
- 4.4. Policy A1 on Amenity states in para 6.12 that 'Disturbance from development can occur during the construction phase. Measures required to reduce the impact of demolition, excavation and construction works must be outlined in a Construction Management Plan.' In this case, the requirement for a CMP is not necessary, namely due to the limited scope of works. The parking bays at the front of the property on Lincoln's Inn Fields can be used for deliveries and skip storage as required. Overall, construction effects will be acceptable.

5. Biodiversity Net Gain

- 5.1. Biodiversity Net Gain (BNG) requirements came into effect for small sites on 02 April 2024, however, there are statutory exemptions and transitional arrangements which mean that the biodiversity gain condition does not always apply. Based on the information provided, this proposal will not require the approval of a Biodiversity Gain Plan before development is begun because it is below the de minimis threshold (because it does not impact an onsite priority habitat AND impacts less than 25 square metres of onsite habitat with biodiversity value greater than zero and less than 5 metres in length of onsite linear habitat).

6. Recommendation

- 6.1. Grant conditional Planning Permission.

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 15th September 2025, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2025/2730/P
Contact: Brendan Versluys
Tel: 020 7974 1196
Email: Brendan.Versluys@camden.gov.uk
Date: 10 September 2025

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE

Phone: 020 7974 4444

planning@camden.gov.uk
www.camden.gov.uk

Newmark
One Fitzroy
6 Mortimer Street
London
W1T 3JJ
United Kingdom

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:

**61 Lincoln's Inn Fields
London
WC2A 3JW**

DECISION

Proposal:

Erection of a fixed awning along the north western wall and a fixed awning over external stairs, both to the front terrace; alterations to the front elevation at ground floor, including; lowering the cills of 4 x existing windows and replacement with glazed doors, replacement of the timber panels in the front door with glass, and associated works.

Drawing Nos: Please refer to condition 2

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans 438.13.06, rev B; 438.13.07, rev B; 438.13.09, rev E; 438.39.00; 438.39.01, rev K; 438.39.02, rev I; 438.39.03; 438.39.04; 438.39.05, rev E; 438.39.08; 438.39.09, rev I; 438.39.10, rev I;

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017.

- 4 Before the relevant part of the work is begun, detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority:

a) Details, including materials, colour(s) and manufacturer's specifications of new awnings;

The relevant part of the works shall be carried out in accordance with the details thus approved.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 3 All works should be conducted in accordance with the Camden Minimum

Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

4 Biodiversity Net Gain (BNG) Informative (1/3):

The effect of paragraph 13 of Schedule 7A to the Town and Country Planning Act 1990 ("1990 Act") is that planning permission granted in England is subject to the condition ("the biodiversity gain condition") that development may not begin unless:

- (a) a Biodiversity Gain Plan has been submitted to the planning authority, and
- (b) the planning authority has approved the plan.

The local planning authority (LPA) that would approve any Biodiversity Gain Plan (BGP) (if required) is London Borough of Camden.

There are statutory exemptions and transitional arrangements which mean that the biodiversity gain condition does not always apply. These are summarised below, but you should check the legislation yourself and ensure you meet the statutory requirements.

Based on the information provided, this will not require the approval of a BGP before development is begun because Biodiversity Net Gain (BNG) Informative (1/3):

The effect of paragraph 13 of Schedule 7A to the Town and Country Planning Act 1990 ("1990 Act") is that planning permission granted in England is subject to the condition ("the biodiversity gain condition") that development may not begin unless:

- (a) a Biodiversity Gain Plan has been submitted to the planning authority, and
- (b) the planning authority has approved the plan.

The local planning authority (LPA) that would approve any Biodiversity Gain Plan (BGP) (if required) is London Borough of Camden.

There are statutory exemptions and transitional arrangements which mean that the biodiversity gain condition does not always apply. These are summarised below, but you should check the legislation yourself and ensure you meet the statutory requirements.

Based on the information provided, this will not require the approval of a BGP before development is begun because it is below the de minimis threshold (because it does not impact an onsite priority habitat AND impacts less than 25 square metres of onsite habitat with biodiversity value greater than zero and less than 5 metres in length of onsite linear habitat).

5 Biodiversity Net Gain (BNG) Informative (2/3):

+ Summary of transitional arrangements and exemptions for biodiversity gain condition

The following are provided for information and may not apply to this permission:

1. The planning application was made before 12 February 2024.
2. The planning permission is retrospective.
3. The planning permission was granted under section 73 of the Town and Country Planning Act 1990 and the original (parent) planning permission was made or granted before 12 February 2024.
4. The permission is exempt because of one or more of the reasons below:
 - It is not "major development" and the application was made or granted before 2 April 2024, or planning permission is granted under section 73 and the original (parent) permission was made or granted before 2 April 2024.
 - It is below the de minimis threshold (because it does not impact an onsite priority habitat AND impacts less than 25 square metres of onsite habitat with biodiversity value greater than zero and less than 5 metres in length of onsite linear habitat).
 - The application is a Householder Application.
 - It is for development of a "Biodiversity Gain Site".
 - It is Self and Custom Build Development (for no more than 9 dwellings on a site no larger than 0.5 hectares and consists exclusively of dwellings which are Self-Build or Custom Housebuilding).
 - It forms part of, or is ancillary to, the high-speed railway transport network (High Speed 2).

6 Biodiversity Net Gain (BNG) Informative (3/3):

+ Irreplaceable habitat:

If the onsite habitat includes Irreplaceable Habitat (within the meaning of the Biodiversity Gain Requirements (Irreplaceable Habitat) Regulations 2024) there are additional requirements. In addition to information about minimising adverse impacts on the habitat, the BGP must include information on compensation for any impact on the biodiversity of the irreplaceable habitat. The LPA can only approve a BGP if satisfied that the impact on the irreplaceable habitat is minimised and appropriate arrangements have been made for compensating for any impact which do not include the use of biodiversity credits.

+ The effect of section 73(2D) of the Town & Country Planning Act 1990

If planning permission is granted under section 73, and a BGP was approved in relation to the previous planning permission ("the earlier BGP"), the earlier BGP may be regarded as approved for the purpose of discharging the biodiversity gain condition on this permission. It will be regarded as approved if the conditions attached (and so the permission granted) do not affect both the post-development value of the onsite habitat and any arrangements made to compensate irreplaceable habitat as specified in the earlier BGP.

+ Phased development

In the case of phased development, the BGP will be required to be submitted to and approved by the LPA before development can begin (the overall plan), and before each phase of development can begin (phase plans). The modifications in respect of the biodiversity gain condition in phased development are set out in Part 2 of the Biodiversity Gain (Town and Country Planning) (Modifications and Amendments) (England) Regulations 2024.

7 This permission is granted without prejudice to the necessity of obtaining consent

under the Town and Country Planning (Control of Advertisements) (England) Regulations 2007. Application forms may be obtained from the Council's website, www.camden.gov.uk/planning or the Camden Contact Centre on Tel: 020 7974 4444 or email env.devcon@camden.gov.uk).

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with the National Planning Policy Framework. The council publishes its adopted policies online, along with detailed Camden Planning Guidance. It also provides advice on the website for submitting applications and offers a pre-application advice service.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-planning-decision>.

Yours faithfully

Chief Planning Officer

DRAFT

DECISION